



design guidelines

CROMWELL | CENTRAL OTAGO





DOCUMENT QUALITY ASSURANCE

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# 1. OVERVIEW

## 1.1 INTRODUCTION

The following guidelines seek to ensure the development of a high quality estate reflecting a Central Otago style, materiality and colour palette.

These Design Guidelines are issued by the developer, Wooing Tree Property Development LP (WPD), and are intended to be administered by WPD or its nominee, Veros Property Services (Veros).

These Design Guidelines contain on-going requirements and purchasers and lot owners must continue to comply with the Design Guidelines even if they have obtained design approval.

These Design Guidelines may be amended from time to time by WPD at its discretion.

## 1.2 VISION AND STRATEGY

Wooing Tree Estate is expected to be a high quality community providing a mixture of housing across a range of residential lots. These Design Guidelines are intended to assist Wooing Tree Estate to develop a strong sense of local character through the use of housing styles, materiality and encourage a community environment, balancing elements from the former vineyard and encompassing high quality streetscapes, materials, and reserve spaces.

Wooing Tree Estate seeks to achieve a blend of consistency in materiality, palette and theme whilst allowing for originality and innovation in design.

It is expected that housing at Wooing Tree Estate will be generally of a higher quality design than that being delivered in other recent developments in Cromwell.





# 1.3 OTHER SPECIFICATIONS AND GUIDELINES

This document is to be read separately to local authority and other regulatory requirements, the provisions of instruments registered on the records of title for lots and industry specifications and guidelines (Regulations). Purchasers and lot owners are responsible for ensuring that designs are compliant with Regulations and in the event of a conflict between these Design Guidelines and Regulations then WPD acting by Veros must be contacted for clarification of the application of these Design Guidelines.

The Design Approval Process does not assess compliance with the Regulations and neither WPD nor Veros accept liability for ensuring compliance with Regulations.

# 1.4 DESIGN APPROVAL PROCESS

No purchaser or lot owner shall commence construction of any building or any landscaping on any lot without having first obtained the written approval of WPD acting by Veros to the plans and specifications of that building and/or landscaping. This is called design approval.

The purchaser or lot owner must submit its design approval application to WPD acting by Veros. It is strongly recommended that design approval is obtained prior to submission of any application for building consent.

The Design Approval Process is broken into 3 stages;

- Stage 1: Feasibility
- Stage 2: Concept Design
- Stage 3: Developed Design

## STAGE 1: FEASIBILITY

The feasibility application needs to provide enough detail across the design of the building and landscaping to indicate that the application complies with the spirit of the controls set out in the Design Guidelines and Regulations.

The Feasibility stage must include the following;

- A plan which shows a basic concept design for the building, the building location, site coverage, setbacks dimensions, a basic concept for landscaping, and an indicative list of materials, finishes, and colours is acceptable for this stage.

This stage is not required but is recommended to avoid the applicant going to the full expense of undertaking Concept Design drawings that may not meet the wider intent of the guidelines.





**STAGE 2: CONCEPT DESIGN**

The Concept Design stage must include all of the following at an appropriate scale;

- Overall Site Plan –the site plan should clearly illustrate the building location and footprint, exterior hard surfaces, driveway position, fencing, site coverage calculations, setback dimensions, and general levels/contour information;
- Floor plans of all buildings;
- A full set of elevations including all sides of the building with heights and dimensions. This shall include a preliminary description of exterior materials, finishes and colours;
- An overall landscape plan showing patios/decks, outdoor areas, the general landscape layout including the design of the front yard or yards adjoining reserves, including location of fences, walls, trees, lawn, planting beds, and other landscape features, such as garden art or sculptures;
- 3D Perspective renders at conceptual quality as seen from the street at eye level or other appropriate angle/viewpoint, and;
- Any non-complying matters shall be clearly annotated on plans.

**STAGE 3: DEVELOPED DESIGN**

In order to align with the vision and strategy of the Wooing Tree Estate, WPD are particularly interested in how the building façade materiality, colour, and form, and front yard landscaping interacts with the street and neighbouring properties. All drawings provided to be A3 CAD plans, at an approved scale.

The Developed Design stage must include all of the following;

- Overall Site Plan – the site plan should clearly illustrate the building location, driveway position, fencing, site coverage calculations, setback dimensions, general levels/contour information, floor plans for neighbouring approved or built houses displaying placement of outdoor spaces, windows, planting to identify possible privacy matters;
- Floor plans of all buildings;
- A full set of elevations including all sides of the building with heights and dimensions. This shall include the final full description of exterior materials, finishes and colours;
- An overall landscape plan showing patios/decks, outdoor areas, the general landscape layout including the design of the front yard or yards adjoining reserves, including location of fences, walls, trees, lawn, planting beds, and other landscape features, such as garden art or sculptures;
- 3D Perspective renders at a high quality as seen from the street at eye level or other appropriate angle/viewpoint, and;
- Any non-complying matters shall be clearly annotated on plans.





- » WPD may, at its discretion, request additional documentation and/or information in order to consider any application for design approval.
- » Notwithstanding any other provision of these guidelines, WPD may agree to exemptions or departures to these Design Guidelines at its sole discretion.
- » WPD acknowledges that new materials, colours, textures, and tones are continuously being developed and as such are open to consider materials/colours that are not currently listed within these Design Guidelines. Any such proposed departures from the Design Guidelines must be clearly highlighted in the design approval application. The approval of any departure is at the sole discretion of WPD.
- » WPD design approval is final and at the sole discretion of WPD. WPD will endeavour to review all design approval applications in a timely manner. However, neither WPD nor Veros will accept liability for delays in processing or obtaining design approval.
- » Applications for design approval must be submitted to Veros using the following contact details:

Developer's Contact Information:  
Wooring Tree Property Development LP  
C/O Veros Property Services  
78 Second Avenue, Tauranga  
[www.veros.co.nz](http://www.veros.co.nz)  
07 579 9747

*Please refer to The Wooring Tree Estate Design Approval Application Form to apply*





# 2. SITE LAYOUT

## 2.1 BOUNDARY SETBACKS

The Wooing Tree Estate is divided into various Residential Resource Areas with specific requirements for dwelling setbacks from lot boundaries.

### FRONT YARD

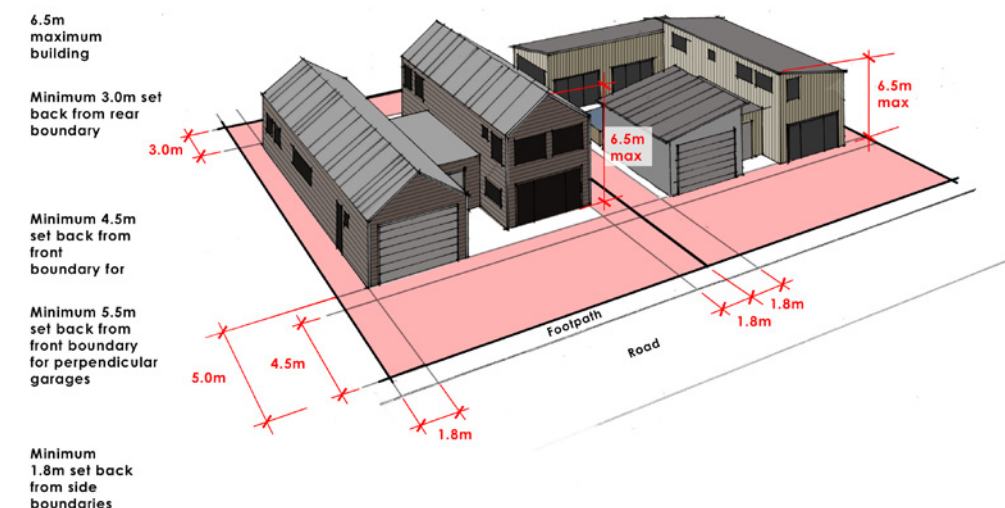
- » A minimum 4.5m front boundary setback is required across all lots to the nearest corner of the dwelling (excluding the garage).
- » Garages that are positioned perpendicular to the road are to have a minimum setback of 5.5m across all lots to allow for a vehicle to be parked within the driveway.
- » Garages that are positioned parallel to the road may be designed to have a minimum front boundary setback of 3.0 m on the basis that the Garage is designed in accordance with the Architectural Guidelines herein (Section 4). Allowance for a vehicle to be parked within the driveway is required.
- » No garage that is positioned parallel to the road corridor is to encroach within the 1.8m and 3.0m side yard setbacks or within the 3.0m rear yard setback
- » Carports are permitted but must adhere to the garages setback as stated above. Where Carports and other vehicle (incl. boat) storage areas are proposed, evidence of sufficient screening of storage areas must be included in design approvals.
- » Carports may be permitted to extend over vehicle courtyards/driveways, this will be at the discretion of WPD.

### SIDE YARD

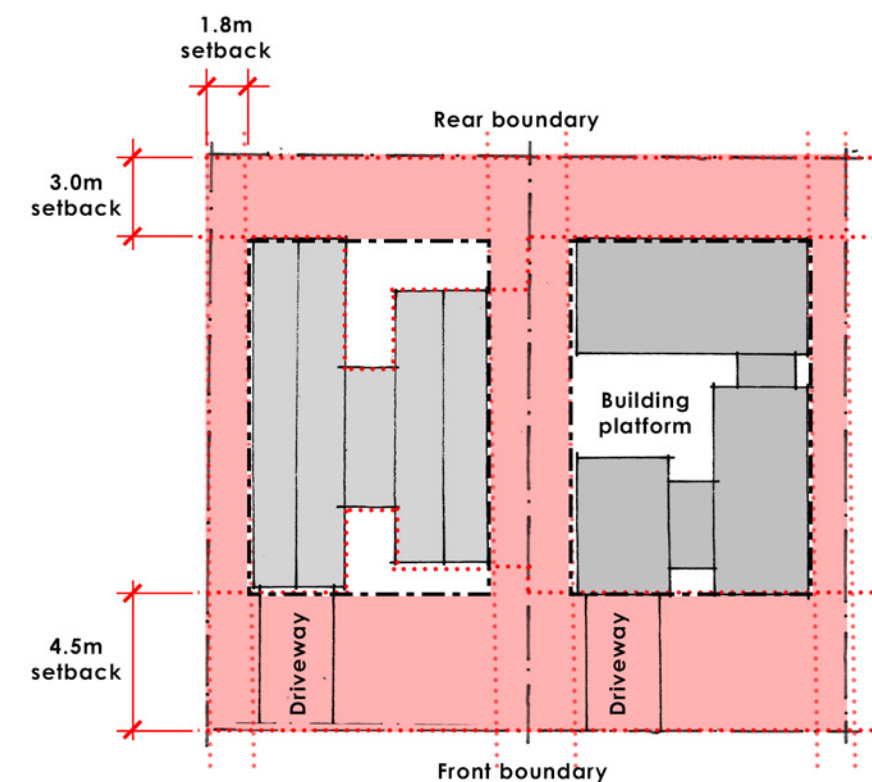
- » For lots located within RRA (11), a minimum setback of 1.8m is required from each side boundary (Lots 12-33).
- » For lots located in RRA (3), a minimum setback of 3.0m is required from each side boundary (Lots 1-11)

### REAR YARD

- » For lots that have a rear yard facing Shortcut Road (RRA (3)), a 10.0m setback is required (Lots 3-9) from the Shortcut Road Boundary.
- » Lot owners of these lots are required to maintain the vegetated buffer planted by WPD. The vegetated buffer consists of selected species planted to create a consistency of outlook from the exterior of the development. Lot owners must not damage or remove the species planted and must replace plant species that do not survive with the same species in order to retain consistency.
- » For lots located within RRA (11), a minimum rear yard of 3.0m is required from the rear boundary setback to the nearest corner of the house (Lots 12-33).



Sketches indicative only



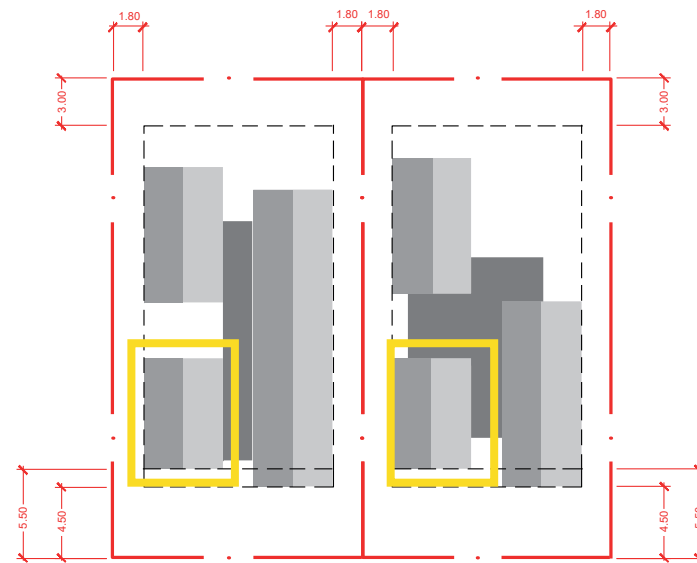
» Boundary Setbacks



## BOUNDARY SETBACK EXAMPLES

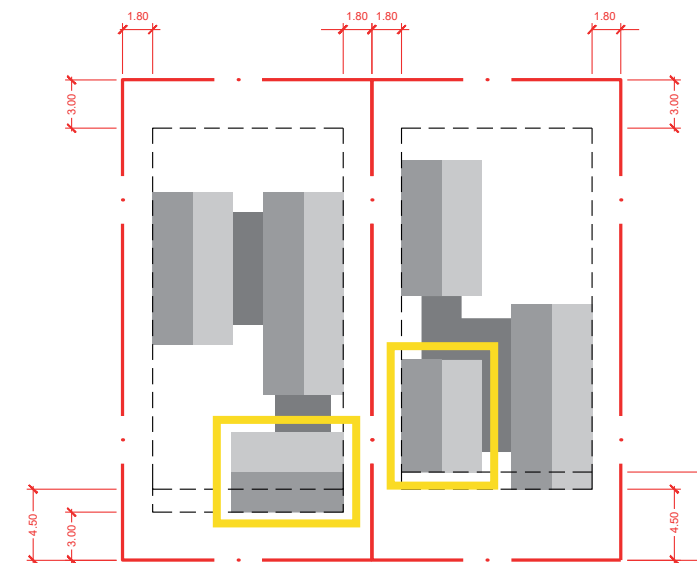
### RRA (11) Lot Setback Example

- » Garage Perpendicular to Road Corridor



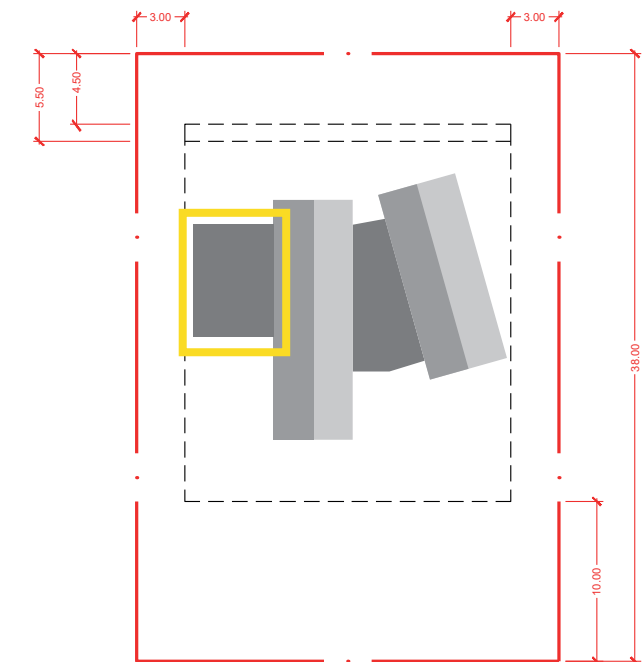
### RRA (11) Lot Example

- » Garage Parallel to Road Corridor



### RRA (3) Lot Example

- » Garage Perpendicular to Road Corridor





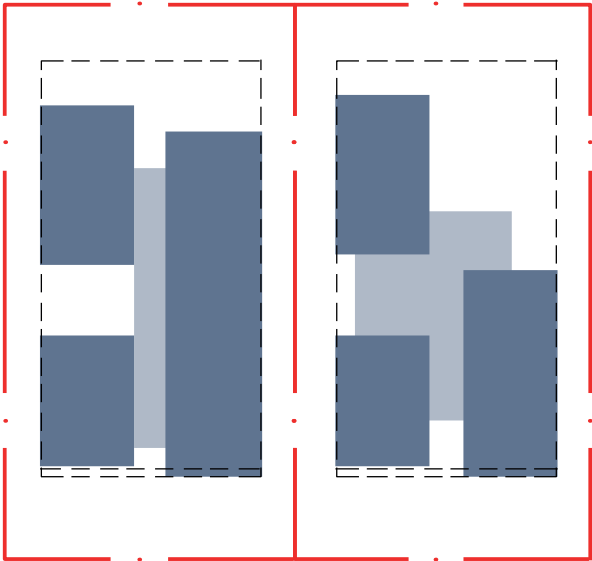
## 2.2 SITE COVERAGE

- » All buildings shall adhere to a maximum coverage of 40% of the lot size. For example, a 500 m<sup>2</sup> lot is to have a building or buildings totalling to a floor area no greater than 200 m<sup>2</sup>.
- » The 40% coverage excludes covered outdoor areas, eaves, and decking are excluded from the coverage calculation.
- » A minimum floor area for buildings are 140 m<sup>2</sup>, excluding ancillary buildings.
- » Two storey buildings are permitted.

### ANCILLARY BUILDINGS

- » Ancillary buildings are permitted, however, must not exceed the total site coverage as stated above. By example, if the residential dwelling totals to a floor area of 180 m<sup>2</sup> an ancillary building is only permitted to be 20 m<sup>2</sup>, totalling to the permitted coverage.

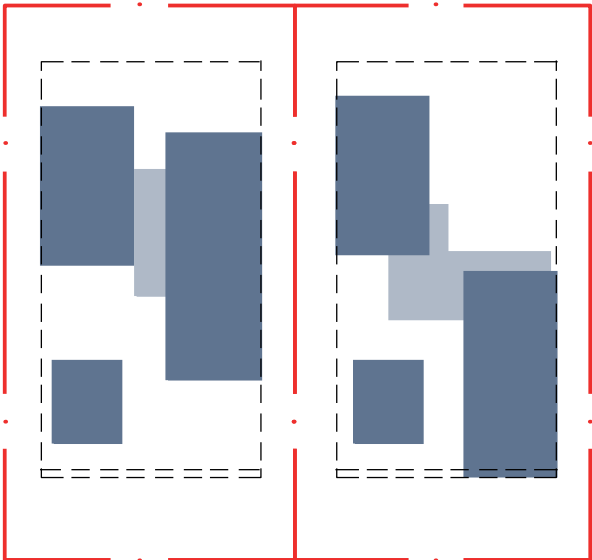
#### » Building Coverage example



- » Gabled roof form accounts for a coverage of approximately 170 m<sup>2</sup> (left lot)
- » Flat roof connection accounts for a coverage of approximately 30 m<sup>2</sup> (left lot)
- » Total coverage of 200 m<sup>2</sup>

- » Gabled roof form accounts for a coverage of approximately 130 m<sup>2</sup> (right lot)
- » Flat roof connection accounts for a coverage of approximately 47 m<sup>2</sup>
- » Total coverage of 177 m<sup>2</sup>

#### » Building Coverage with Ancillary Building example



- » Gabled roof form accounts for a coverage of approximately 140 m<sup>2</sup> (left lot)
- » Flat roof connection accounts for a coverage of approximately 15 m<sup>2</sup> (left lot)
- » Ancillary building approximately 25 m<sup>2</sup> (left lot)
- » Total coverage of 180 m<sup>2</sup>

- » Gabled roof form accounts for a coverage of approximately 130 m<sup>2</sup> (right lot)
- » Flat roof connection accounts for a coverage of approximately 25 m<sup>2</sup>
- » Ancillary building approximately 25 m<sup>2</sup> (left lot)
- » Total coverage of 180 m<sup>2</sup>



# 3. ARCHITECTURE

## 3.1 GENERAL

The following guidelines are intended to produce a high quality, contiguous urban outcome, avoiding visual clutter and respecting the semi-rural character of the Wooing Tree Estate.

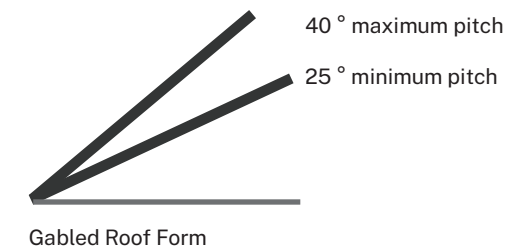
- » All buildings, including ancillary buildings, must be located within the approved CODC setbacks (including Council rules).
- » All colours and materiality shall comply with the lists specified in 3.2 and 3.3.
- » All buildings shall not extend beyond a 6.5 m height limit above the finished ground level at the date of deposit of the plan of subdivision, to the highest point of the roof, excluding chimneys, and flues which may extend up to 1.0 m above the specified height limit.
- » All dwellings, especially two storey dwellings, must have considered and satisfied Council guidelines and specifications in terms of shading and building envelope design.

*Refer to CODC Guidelines 7.3.6 Height i-ii and Figures 7.1, 7.2, 7.3 in Appendix 1*

## 3.2 ROOF CONFIGURATION | MATERIALITY

- » Gabled roof forms only are permitted and shall be the predominant roof form. All gabled roofs shall have a minimum pitch of 25° and maximum of 40°.
- » Flat roof connections are permitted between gabled forms, but shall not exceed 25% of the building footprint. By example, a 200 m<sup>2</sup> dwelling is permitted to have no more than 50 m<sup>2</sup> of the footprint as a 'flat roof'.
- » Mono-pitched/skillion roofs are permitted with a minimum pitch of 5° and maximum of 10°.
- » No hip roofs are permitted.
- » Roof materials shall be restricted to a maximum of two of the materials listed below and shall have an LRV between 5-22% in a neutral colour. The following materials only are permitted:
  - Steel tray cladding/roof in Resene (or similar) 'Element', 'Grey Friars', 'Ironsand', 'Nocturnal', 'Charcoal', 'Cave Rock', 'Karaka', 'Windswept', with matte finish only.
  - Profiled Steel or trapezoidal profile in Resene (or similar) 'Element', 'Grey Friars', 'Ironsand', 'Nocturnal', 'Charcoal', 'Cave Rock', 'Karaka', 'Windswept', with matte finish only.
  - Timber shingles dark stained to match an LRV of 5-22%.

*Other roof colours may be considered, however the final decision is at the sole discretion of WPD.*



- » Image examples of roof material and form are for guidance only



### 3.3 WALL CLADDINGS | MATERIALITY | COLOURS

The following materials and colours for wall claddings are permitted;

- Linea® weatherboard, in modern dark paint colours
  - Vertical natural cedar timber, left to weather or stained.
  - Board and batten, vertical only, in dark stain to match an LRV of 5-22%
  - Stone: random sized schist stone, laid horizontally, and locally sourced.
  - Stained timber cladding, in dark stain to match an LRV of 5-22%
  - Natural timber cladding, left to weather, or in dark browns or greys, including burnt larch
  - Profiled metal: standing seam in dark colours, pre-weathered zinc, or mild steel.
  - Concrete: low light reflection coefficient to be achieved through texture or oxide additives, or textured concrete such as 'board-formed'
  - Corten, or mild steel: as wall cladding panels and/or landscape features
  - Stria™, flat panel system in colours specified above.
- » Corrugated Iron or Hardie™ Flatboard is not permitted.
- » The mixing of cladding types in both materiality and colour shall be avoided. A maximum of two wall claddings that are complementary in materiality, colour, and uniformity are permitted for each gable and mono-pitched form.
- » If a secondary cladding material is desired, this is to cover a maximum of 30% for each gable and mono-pitch form.
- » Highlights on doors or minor features are permitted.
- » All joinery, guttering, and downpipes shall match roof colours or darker, unless timber joinery is utilised.
- » Any materials not listed in the list above may be considered but this is at the sole discretion of WPD.



» Image examples of wall claddings, materiality, and colours are for guidance only



# 4. LANDSCAPE

## 4.1 EARTHWORKS AND RETAINING

If earthworks are desired to create privacy or for any other purposes which enhance the overall amenity of a lot, the finished grade of all unretained slopes shall be no more than 1:3, no higher than 600mm high, and shall be either grassed or planted with tussock/grass species.

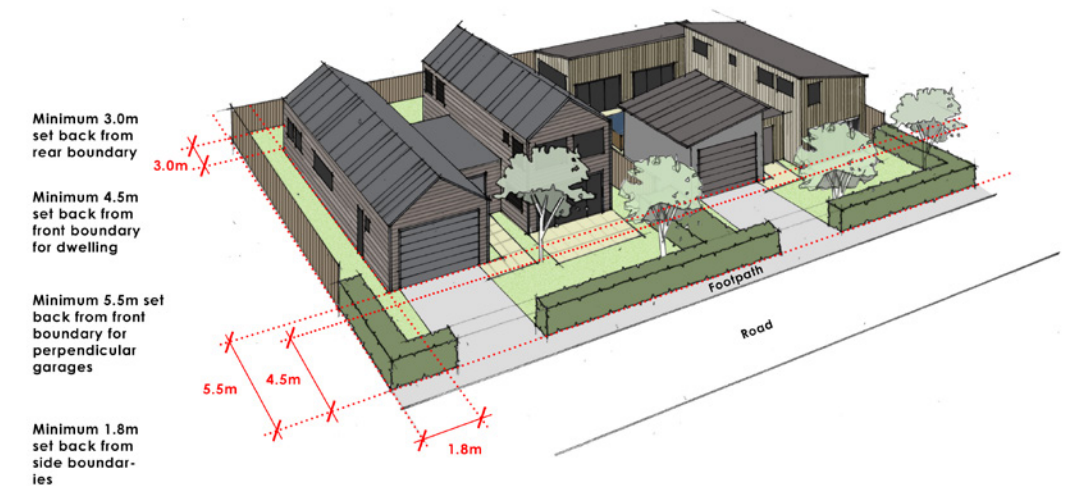
If retaining walls are required for any amenity purpose, the finished surface of the wall must be in either:

- » natural stone (schist stone, stacked horizontally)
- » other natural material approved by WPD in reviewing design plans

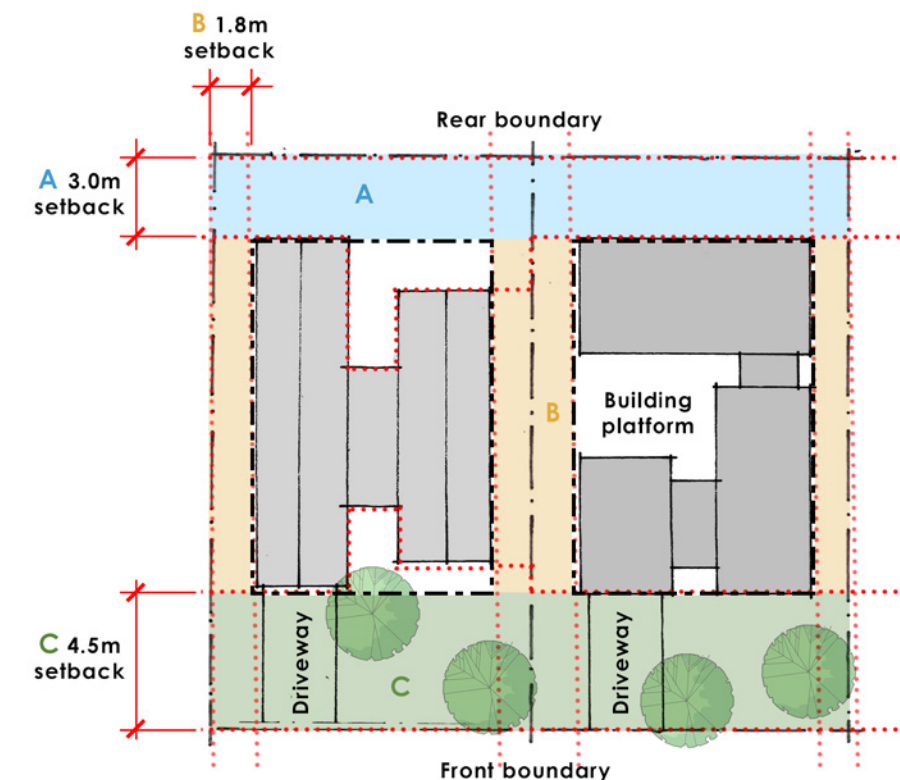
## 4.2 PLANTING | GENERAL

The landscape design of the front yard for each residential lot shall be carefully planned to compliment the streetscape, materials, and designed layout of the road corridor to encourage continuity of streetscape.

- » WPD have provided a list of plant species within this document (*refer section 4.3*) from which all planting shall be derived. Lot owners shall select and plant from that list only.
- » Tree and shrub planting in the front yard is encouraged to add to the street environment, adding quality and character.
- » Hedging shall be undertaken on all lot boundaries within the 1st metre of land adjoining all road and reserve boundaries, unless approved otherwise by WPD.
- » Planting in the rear yard is encouraged and shall be selected from the species listed within this document.
- » Lawn areas are encouraged in all yard areas, however planting of trees, grasses/shrubs are necessary to align with the Wooing Tree Estate Vision and Strategy.
- » Plant species that are not listed but are aligned with the Wooing Tree Estates Vision and Strategy may be considered and are at the sole discretion of WPD.



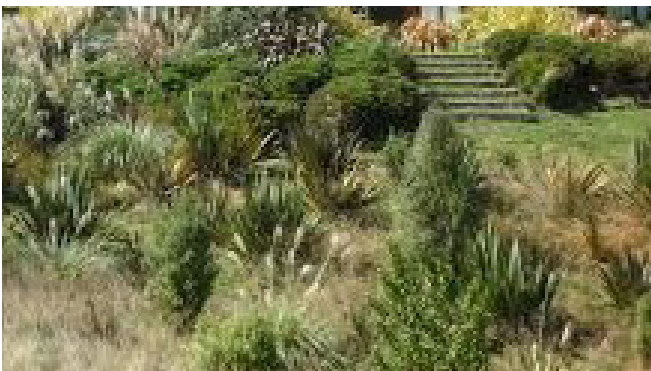
Sketches indicative only



» Diagrams of Landscape Configuration and Setbacks



EARTHWORKS AND LOW RETAINING EXAMPLES



» Image examples are for guidance only

### 4.3 RESIDENTIAL PLANTING SPECIES

Plant species that are to be used are be selected by the following list;

#### HEDGING | STREET BOUNDARY

Botanical Name	Common Name	Evergreen	Deciduous	Native	Exotic
Prunus lusitanica	Portuguese Laurel	•			•
Griselinia littoralis	Broadleaf / Kapuka	•		•	
Pittosporum tenuifolium ‘Silver Sheen’	Silver Sheen Kōhūhū	•			•
Viburnum tinus ‘Emerald Beauty’	Viburnum	•			•

Hedges to be of a minimum grade of PB12 at time of planting, planted at a maximum of 800mm centres, and be maintained at a height of 1.5m clipped sides and top.



#### GRASSES | FLAX

Botanical Name	Common Name	Evergreen	Deciduous	Native	Exotic
Carex dipsacea	Grass/Sedge	•		•	
Carex testacea	Grass/Sedge	•		•	
Chionochloa rigida	Snow Tussock	•		•	
Chionochloa rubra	Red Tussock	•		•	
Astelia fragrans	Bush flax	•		•	
Phormium cookianum	Mountain Flax / Wharariki	•		•	
Austroderia richardii	South Island Toe Toe	•		•	
Anemanthele lessoniana	Wind Grass / Gossamer Grass	•		•	
Poa Colensoi	Blue Tussock	•		•	
Astelia nervosa ‘Westland’	Westland Mountain Astelia	•		•	





SHRUBS

Botanical Name	Common Name	Evergreen	Deciduous	Native	Exotic
Coprosma propinqua	Mingimingi	•		•	
Hebe cupressoides	Cypress leafed hebe	•		•	
Hebe topiaria	Hebe	•		•	
Griselinia littoralis	Broadleaf	•		•	
Viburnum tinus	Laurustinus	•		•	
Choisya ternata	Mexican Orange Blossom	•		•	
Prunus lusitanica	Portuguese Laurel	•		•	
Ligustrum rotundifolium	Japanese Privet	•			•
Rhododendron 'Cunningham's White'	Rhododendron	•		•	
Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen Kōhūhū		•		•
Lophomyrtus 'Red Dragon'	NZ Myrtle	•		•	



TREES

Botanical Name	Common Name	Evergreen	Deciduous	Native	Exotic
Sophora microphylla	South Island Kowhai	•		•	
Prunus ‘Shirotae’	Mt Fuji Cherry		•		•
Carpinus betulus	European Hornbeam		•		•
Ulmus parvifolia ‘Frontier’	Chinese Hybrid Elm		•		•
Fagus sylvatica	Common/English Beech		•		•
Quercus palustris	Pin Oak		•		•
Apricot Moorpark	Apricot Tree		•		
Azara microphylla	Vanilla Tree	•			•
Cordyline australis	Cabbage Tree	•		•	
Fuscospora cliffortioides	Mountain Beech	•		•	
Pyrus calleryana	Ornamental Pear		•		
Malus tschonoskii	Upright Japanese Crabapple		•		•
Malus ioensis ‘Plena’	Prarie Crabapple		•		•
Cornus ‘Eddies White Wonder’	Flowering Dogwood		•		•
Magnolia Grandiflora ‘Teddy Bear’	Evergreen Magnolia	•			•
Plagianthus regius	Ribbonwood		•	•	
Carpodetus serratus	NZ Marble Leaf	•		•	
Hoheria sexstylosa	Lacebark / Houhere	•		•	
Prunus yedoensis	Yoshino / Tokyo Cherry		•		•

A minimum of two tree planting species from the list above is to be planted within the front yard.



Sophora microphylla



Prunus ‘Shirotae’



Carpinus betulus



Ulmus parvifolia ‘Frontier’



Fagus sylvatica



Quercus palustris



Apricot Moorpark



Azara microphylla



Cordyline australis



Fuscospora cliffortioides



Pyrus calleryana



Malus tschonoskii



Malus ioensis ‘Plena’



Cornus ‘Eddies White Wonder’



Magnolia Grandiflora ‘Teddy Bear’



Plagianthus regius



Carpodetus serratus



Hoheria sexstylosa



Prunus yedoensis



## 4.4 BOUNDARY TREATMENTS | FENCING

### FRONT YARD

- » There shall be no fencing within the front yard setback area (*refer section 2.1*). If fencing is required for the purpose of containment (infants, pets, by way of example) it shall be a 1m post and wire (with rabbit netting if required) and be located immediately behind (screened by) the hedging (with the allowance of the hedge to be a minimum width of 0.8m when mature).
- » Hedging plant species shall be planted at suitable plant centres (maximum 800mm centres between hedge plants) and run continuously along the front yard boundary adjacent to the road boundary to provide a continuous hedge frontage, unless otherwise approved by WPD during design approval. This excludes a 4m wide allowance for the driveway entry.
- » Hedging may continue from the street frontage along adjoining side boundaries to the setback distance of the front yard at a minimum (i.e 5.0 to 5.5m).

### SIDE YARD

- » Fencing along the side boundaries between lots shall be no higher than 1.8m in vertical timber paling or battens, stained mid to dark brown, or left to silver, only where the side yard is adjoining another property.
- » Side yard fences must terminate a minimum of 1.0m behind the front façade of the dwelling.
- » No solid/timber fences are permitted where side yards adjoin legal roads, common driveways, reserves, green space, and open space. These boundaries are to be treated in the same manner as Front Yards (above).
- » For the purposes of privacy, screening of the side yards is permitted, however, this shall be set back 1m from the front facade of the dwelling. The materiality of this shall match the side boundary fencing or be complimentary to the front facade material/colour.
- » Fencing for side yard boundaries adjoining easements/shared driveways shall be no higher than 1.5m. Alternatively, a hedge maintained at 1.5m in height is acceptable.

### » Fencing Typology Plan for Stage 1



- boundary treatment installed by developer and maintained by lot owner
- 1.0 m high post and wire/mesh  
or a min. 1.2 m, max. 1.5 m high hedge from planting options (reserve)
- a min. 1.2 m high, max 1.5 m high hedge with optional 1 m high post and wire/mesh positioned behind hedge (front yard / road frontage)
- 1.2 m high quality entrance fence/feature (per developers design)  
with 1.5 m high hedge behind
- 1.8 m high fence (side yard / rear yard)

Please refer to Section 4.4 Boundary Treatments | Fencing for further details and examples of fencing types

## REAR YARD

- » Fencing of the rear yard boundary shall match the side yard fencing in material and colour as per side yard guidelines, for lots with rear yards adjoining another property.
- » Any rear yard boundaries that are adjacent to reserves, common driveways, green space, and open space shall be treated in the same manner as Front Yards (above).

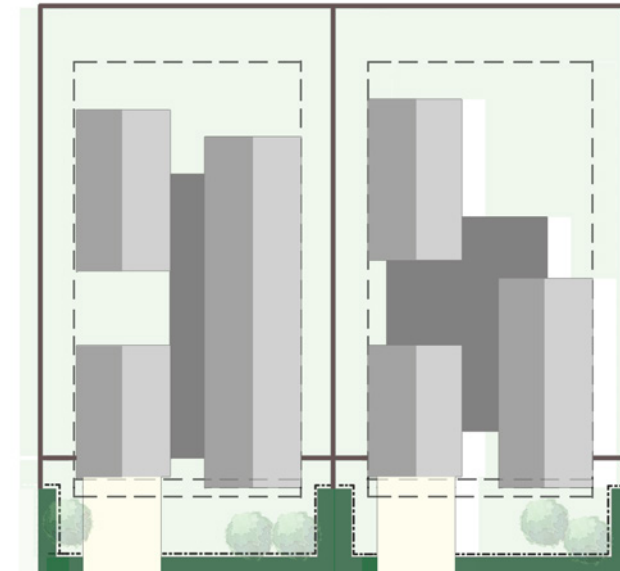
## UTILITIES

- » All utility areas shall be located down the side yard or rear yard and screened appropriately from neighbours, road corridors, and all public viewpoints, including open space reserves, streets and footpaths.
- » Screening is to be complimentary to the dwelling and landscape design and consistent with the materiality, colour, and finish of these.
- » For clarity, 'Utilities' include but are not limited to;
  - Air conditioning units and heat pumps
  - External hot water devices
  - Gas bottles
  - Rubbish and recycling bins or bag areas

## CLOTHES LINES

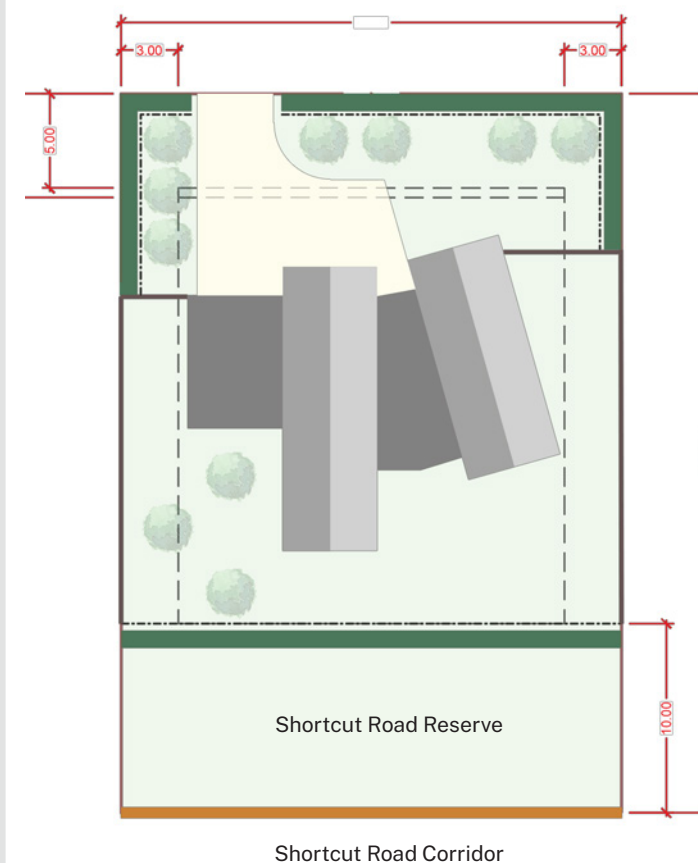
- » Clothes lines shall be no higher than 1.6m and located in side or rear yard areas and be screened appropriately from neighbours, road corridors, and all public viewpoints, including open space reserves, streets and footpaths.

## » Adjoining Lots and Road example



- » 1.5m high clipped hedge for street frontage
- » 1.0m high post and wire/mesh fence located behind and screened by hedge
- » 1.8m high side yard fence terminated 1m from the front facade of the dwelling
- » 1.8m high rear yard fence in same style as side yard fence
- » 1.8m high side yard screen/gate for privacy from the street frontage

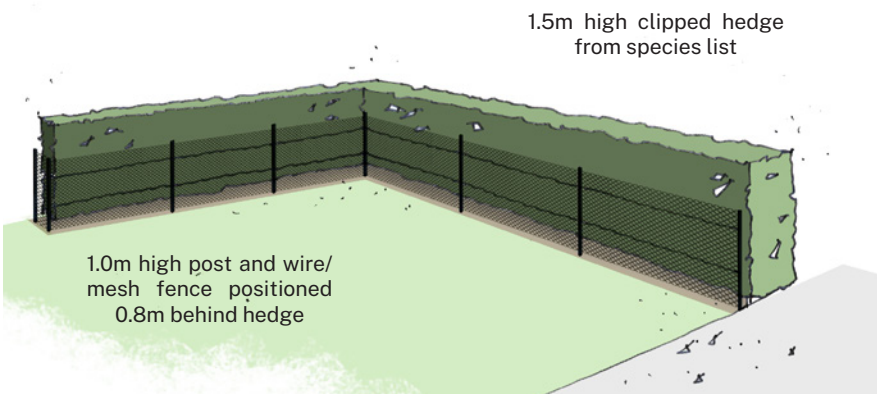
## » Shortcut Road Lot example



- » 1.5m high clipped hedge for street frontage
- » 1.0m high post and wire/mesh fence located behind and screened by hedge
- » 1.8m high side yard fence terminated 1m from the front facade of the dwelling
- » 1.8m high side yard screen/gate for privacy from the street frontage
- » 1.5m high clipped hedge along rear yard setback (10m from Shortcut Road)
- » Lot boundary along Shortcut Road boundary to be installed by developer
- » Landscaping within the Shortcut Road Reserve to be well maintained all year round by the lot owner



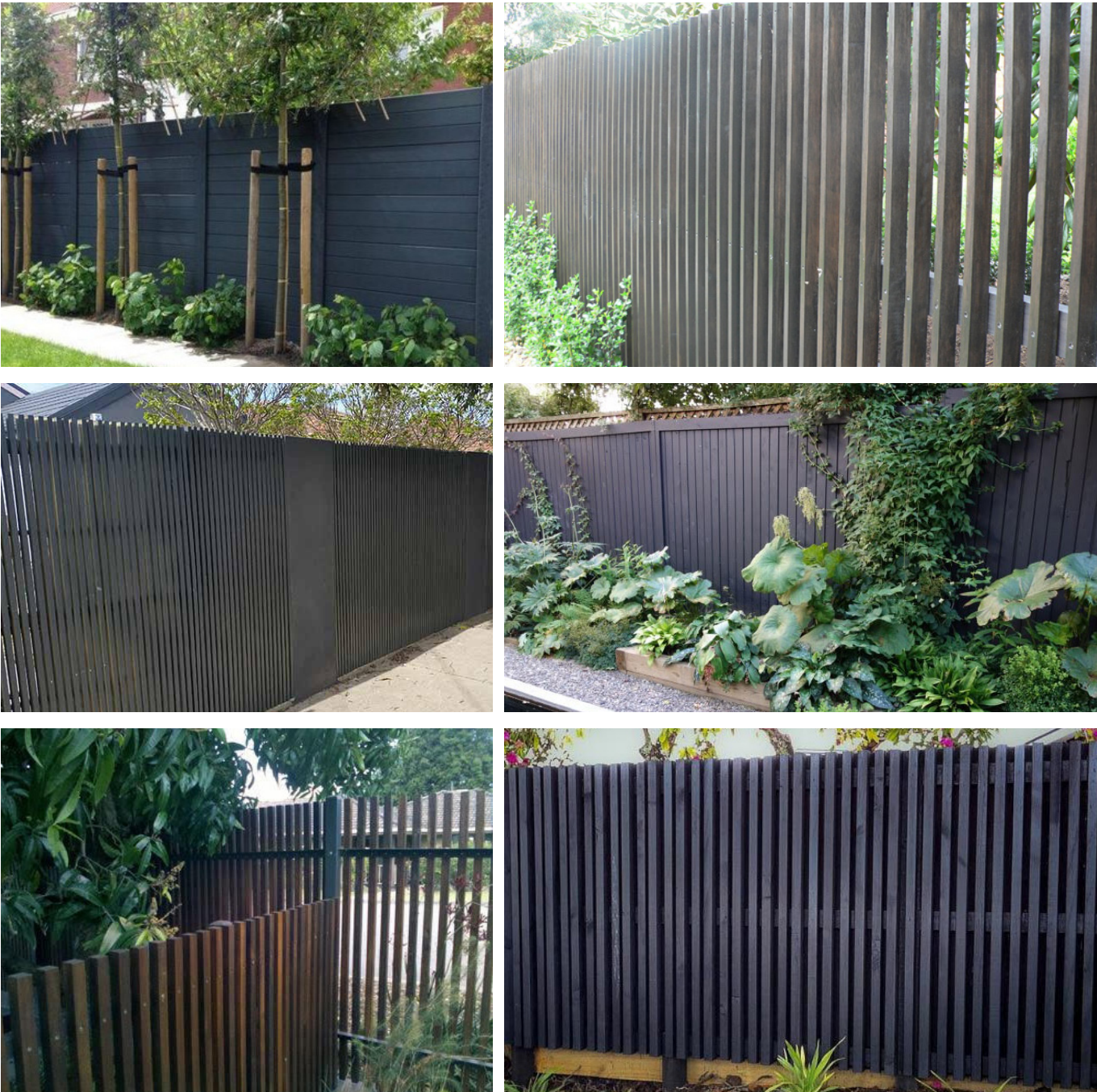
HEDGE AND POST AND WIRE/MESH TREATMENT



CLIPPED HEDGE EXAMPLES



SIDE YARD AND REAR YARD FENCING EXAMPLES



» Image examples are for guidance only



# 4.5 PAVING AND DRIVEWAYS

## PAVING

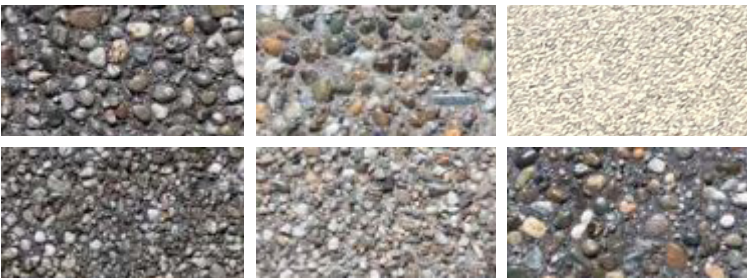
- » Paved areas are permitted within lots and encouraged to be of high quality finish and durability.
- » Paving is to be neutral browns and grey tones and approved by WPD during design approval.

## DRIVEWAYS

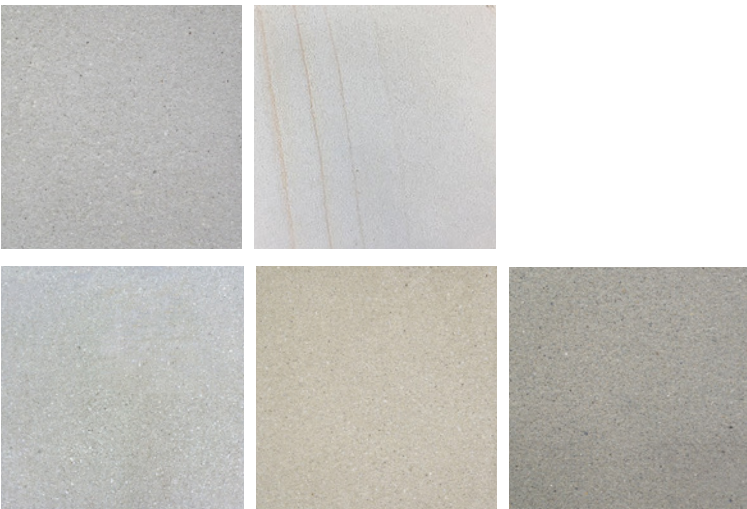
- » All driveways are to be constructed in exposed aggregate finish that is approved by WPD.
- » Vehicle courtyards expanding from the driveway can be constructed in either the same colour/tonne of exposed aggregate as the driveway or paving that are natural tones that is approved by WPD.
- » Driveway patterns such as cuts/expansion joints are permitted with the construction cuts being kept to a minimum. Square pattern cuts are permitted for aesthetic purposes but shall be at 90° only to the driveway edge (i.e no angular cuts are to be applied)

# 4.6 EXTERIOR LIGHTING

- » All exterior lighting not fixed to a residential or accessory building shall be no more than 1.5 m in height and directed downward.
- » All exterior lighting that is mounted to the dwelling shall be of consistent materiality, colour, and design in reflection of the dwelling and landscape design.
- » Uplights and downlights that are fixed to a residential or accessory building are permitted, however, all exterior lighting shall be directed so as not to create light spill onto adjoining properties or glare as to disturb neighbours.
- » Temporary lights for the purposes of seasonal events (Christmas, Halloween etc) are permitted for no longer than 1 month.



» Exposed aggregate examples for guidance only



» Paving colour examples for guidance only



» Paving in context example for guidance only



## 4.7 SWIMMING POOLS | SPAS

- » Swimming pools and spas are permitted and must be located within the building platform setbacks, located in either the rear yard or side yards.
- » Swimming pools are not considered part of the building coverage.
- » The pool plant is to be housed inside the house, garage, or ancillary building, must be acoustically insulated and screened.
- » Pool fencing shall comply with the applicable local authority and safety standards and integrate with the house and landscape design.

## 4.8 SCULPTURES | GARDEN ART

- » Sculptures and garden art are permitted and are to be discrete in size and materiality/colour. Images of the sculpture/s and/or garden art is to be included within the landscape design package for design approval.
- » All sculptures or garden art is to be screened appropriately from neighbours, road corridors, and all public viewpoints, including open space reserves and footpaths.
- » Sculptures and garden art are to be of appropriate colour, and materiality that are represented within the dwelling and landscape designs and are to be no higher than 1.2 m in the front yard and 1.5 m in the rear yard.
- » No sculptures/garden art are permitted down the side yards, unless appropriately screened as above. This is at the discretion of WPD.

## 4.9 MATERIALITY | OUTDOOR LIVING AREAS

- » The selected material for other landscape features such as privacy screens, outdoor living areas, outdoor fireplaces/firepits, decking etc. are encouraged to utilise the materiality finishes described in the architecture design guidelines in this document.
- » This ensures there is a balance and continuity of materiality across the house lot and the estate.

## 4.10 LETTERBOXES

- » WPD will provide two design options for letterboxes based on the materiality and colours described within the architectural controls.
- » No other letterbox design is to be used without prior approval from WPD.



- » Examples of outdoor fireplaces and firepits, steel and schist clad to match dwelling materiality/colour for guidance only



- » Schist stone (locally sourced) and laid horizontally

# 5. OTHER

## 5.1 BOATS | TRAILERS | CARAVANS

- » Boats, trailers, and caravans must not be parked/stored within any reserves, open space, green corridors, or road corridors, including street parking bays or road verges.
- » Boats, trailers, and caravans must be parked/stored within the lot.

## 5.2 STORAGE | SERVICES AREAS

- » All storage/service areas are to be screened from the street view so as not to detract from views down and through road corridors.
- » Screening of service areas shall be no higher than 1.5m and shall be in material specified in fencing and wall cladding guidelines.

*The purpose of this area is to contain rubbish bins, generators, and other services relating to the functioning of the dwelling.*

## 5.3 MAINTENANCE OF YARDS

- » The lot owner must ensure that front yards and yards adjoining reserves and roads are well maintained all year round.
- » If the dwelling is occupied by tenants, the owner must still ensure the maintenance of the yards.
- » Maintenance includes (but not limited to); mowing lawns, tree pruning (if required), weed removal, hedging clipped to 1.5m in height and clipped sides, and irrigation (subject to local authority water restrictions).

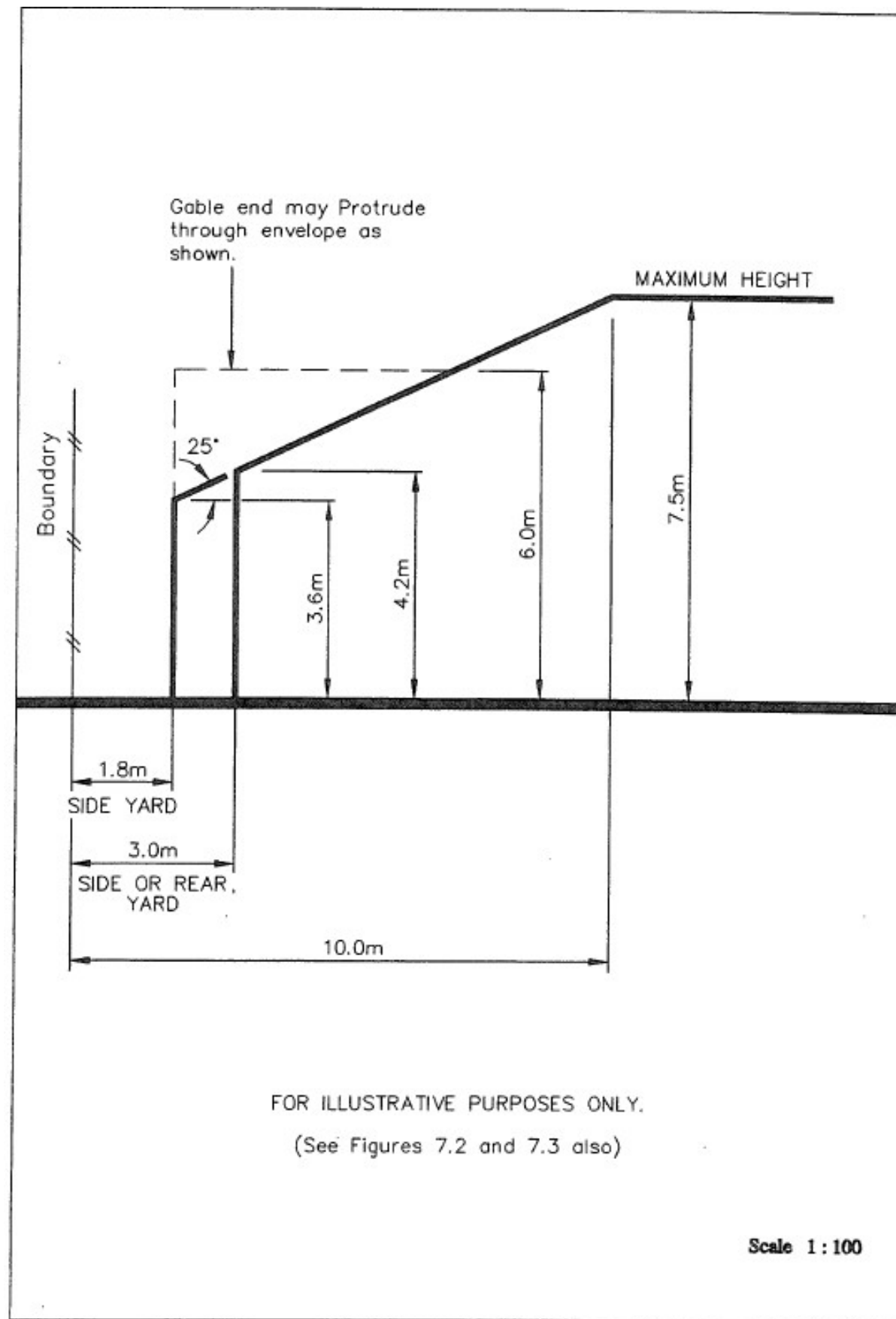




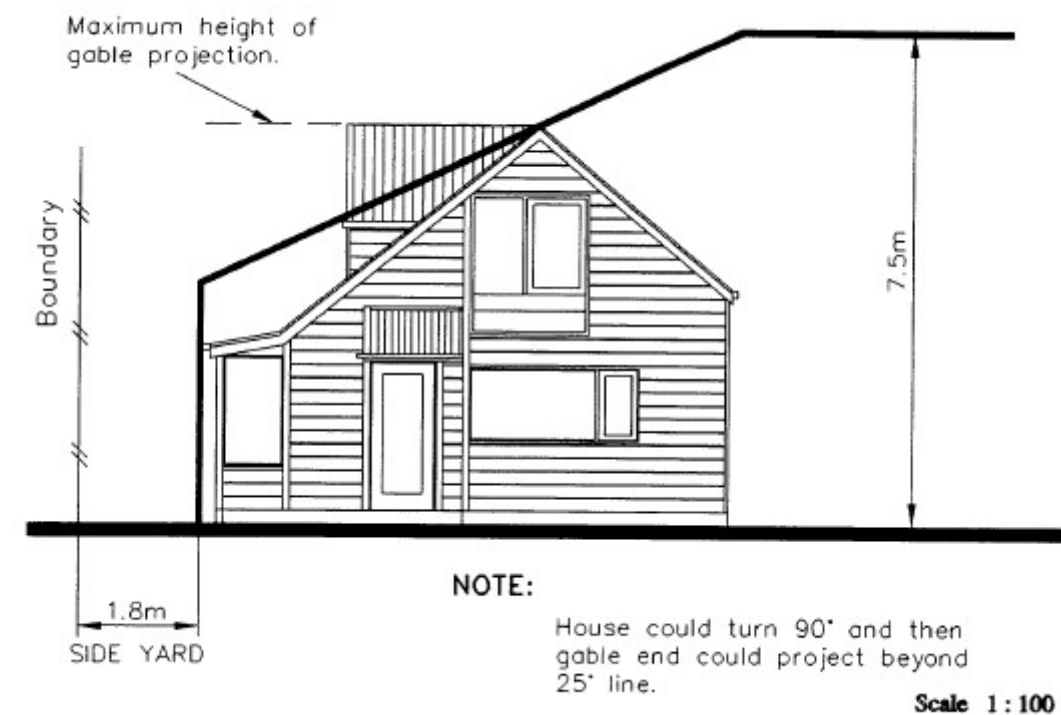
# 6. APPENDIX



**Figure 7.1 – Height Control (see Rule 7.3.6(iii)(f))**



**Figure 7.2 – Height Control in Operation**



**Figure 7.3 – Sketch of Height Control Construction**

